

PROPOSED LOT SPLIT

294 SOUTH COCONUT LANE

MIAMI BEACH, FL



CLIENT
LAZLO FAZEKAS
294 SOUTH COCONUT LANE,
MIAMI BEACH, FL 33139

ARCHITECT
CHOEFF + LEVY P.A.
8425 BISCAYNE BLVD.
MIAMI, FL 33138
(305) 434-8338

PROPOSED LOT SPLIT

294 SOUTH COCONUT LANE

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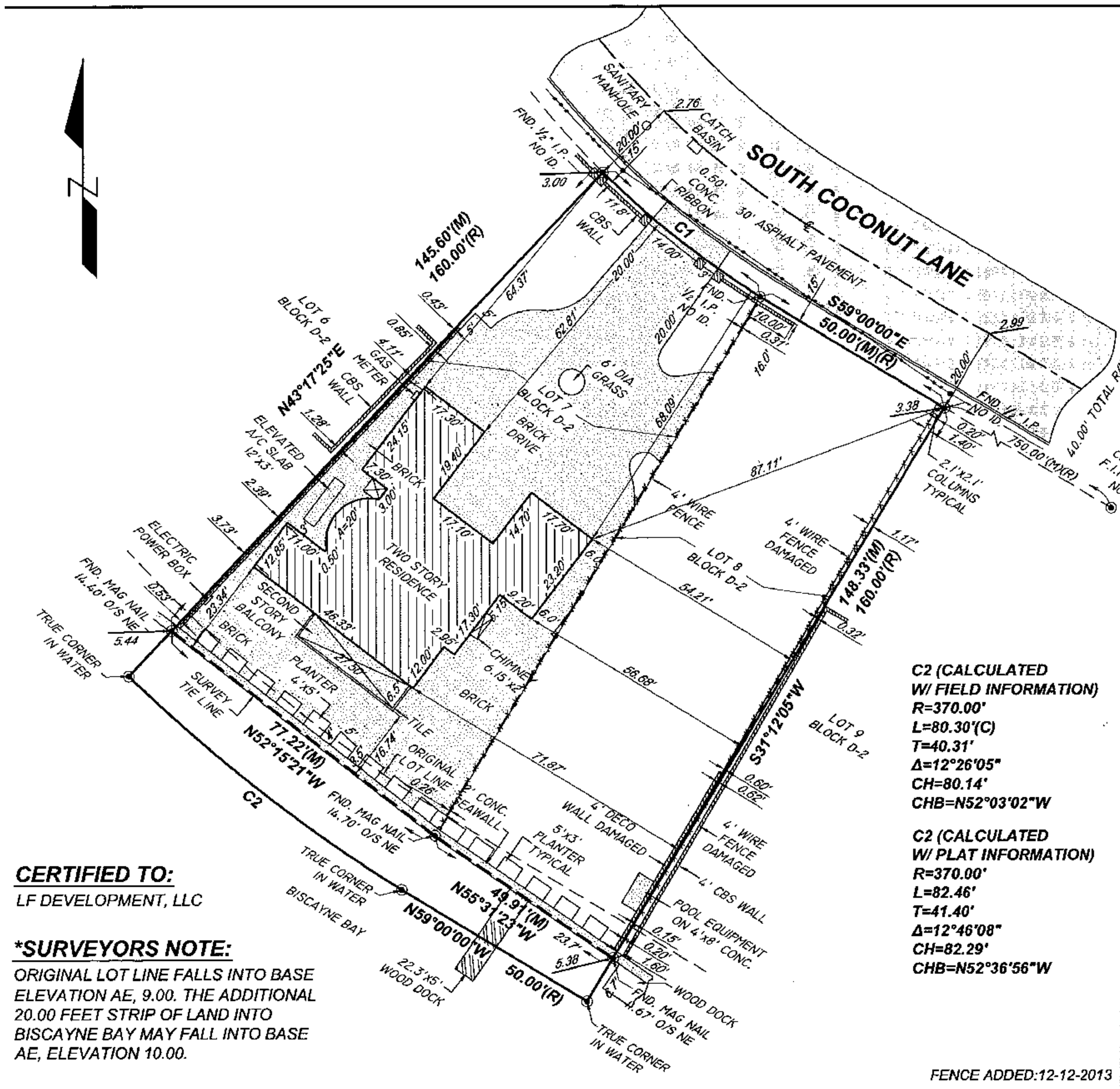


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CERTIFIED TO:
LF DEVELOPMENT, LLC

***SURVEYORS NOTE:**

ORIGINAL LOT LINE FALLS INTO BASE ELEVATION AE, 9.00. THE ADDITIONAL 20.00 FEET STRIP OF LAND INTO BISCAYNE BAY MAY FALL INTO BASE AE, ELEVATION 10.00.

LOOD ZONE: AE	PROPERTY OF: LF DEVELOPMENT, LLC
AP & PANEL= 12086C0316	
COMMUNITY No.: 120651	
UFFIX: L	
ATE OF FIRM: 09-11-2009	
ASE ELEV.= *9.00/10.00 NGVD1929	
F. ELEV. = 4.96	NOTES LOWEST HABITABLE FLOOR ELEVATION.
LEVATIONS SHOWN REFER TO N.G.V.D. 1929.	
OWEST ADJACENT GRADE = 4.50	
M. # D-135 ELEV. = 5.31 (MIAMI-DADE COUNTY)	
ARAGE ELEV.= N/A	
R.P.= 2.80	

FENCE ADDED:12-12-2013

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

C1 (MEASURED)
R=210.00'
L=46.55'
T=23.37'
 $\Delta=12^{\circ}41'57''$
CH=46.45'
CHB=S51°32'24"E

C1 (CALCULATED
W/ PLAT INFORMATION)
R=210.00'
L=46.80'
T=23.50'
 $\Delta=12^{\circ}46'08''$
CH=46.70'
CHB=S52°36'56"E

LEGAL DESCRIPTION:

LOTS 7 AND 8, BLOCK D-2, "AMENDED RIVIERA AND THE FIRST AND SECOND ADDITIONS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 32, PAGE 37, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; AND A STRIP OF LAND 20.00 FEET WIDE ABUTTING THE WATERFRONT END OF LOTS 7 AND 8, BLOCK D-2, "AMENDED RIVIERA AND THE FIRST AND SECOND ADDITIONS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 32, PAGE 37, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, BEING A PART OF THE 20 FOOT STRIP OF LAND CIRCLING PALM ISLAND CONVEYED BY THE TRUSTEE'S OF THE INTERNAL IMPROVEMENT FUND TO THE BISCAYNE BAY ISLAND COMPANY BY DEED DATED SEPTEMBER 14, 1932 AND RECORDED IN DEED BOOK 1501, AT PAGE 479 OF THE PUBLIC RECORDS MIAMI-DADE COUNTY, FLORIDA.

SURVEYOR'S NOTES:

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- 7) FENCE OWNERSHIP NOT DETERMINED UNLESS OTHERWISE NOTED.
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- 9) WALL MEASUREMENTS ARE TO/FROM FACE OF WALL.
- 10) DRAWING DISTANCE BETWEEN WALLS AND/OR FENCES AND PROPERTY LINES MAY BE EXAGGERATED FOR CLARITY.
- 11) FLOOD ZONE INFORMATION WAS DERIVED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INFORMATION RATE MAPS
- 12) BEARINGS IF ANY SHOWN ARE BASED ON ASSUMED PLAT MERIDIAN AT: SOUTH RIGHT OF WAY LINE OF S. COCONUT LANE = S59°00'00"E

LEGEND

A/C	AIR CONDITIONER	F.H.	FIRE HYDRANT	P.C.C.	POINT OF COMPOUND CURVATURE	TYP.	TYPICAL
A/V	AVENUE	I.C.V.	IRRIGATION CONTROL VALVE	P.C.P.	PERMANENT CONTROL POINT	U.E.	UTILITY EASEMENT
BLVD.	BOULEVARD	I.P.	IRON PIPE	PLS	PROFESSIONAL LAND SURVEYOR	W.M.	WATER METER
BM	BENCH MARK	FPL	FLORIDA POWER & LIGHT	PSM	PROFESSIONAL SURVEYOR AND MAPPER	W.V.	WATER VALVE
CATV	CABLE TELEVISION BOX	F.I.P.	FOUND IRON PIPE	PL	PROPERTY LINE	W.U.P.	WOOD UTILITY POLE
C.B.	CATCH BASIN	F.I.R.	FOUND IRON ROD	P.O.B.	POINT OF BEGINNING	SYMBOLS	
CBS	CONCRETE BLOCK STRUCTURE	FND.	FOUND	P.O.C.	POINT OF COMMENCEMENT		
CH	CHORD BEARING	L	ARC LENGTH	P.R.C.	POINT OF REVERSE CURVATURE	CONCRETE	CONCRETE
CHB	CHORD DISTANCE	(L)	LEGAL	P.R.M.	PERMANENT REFERENCE MONUMENT	OVERHEAD UTILITY LINES	OVERHEAD UTILITY LINES
COR	CORNER	L.P.	LIGHT POLE	P.T.	POINT OF TANGENCY	WIRE FENCE	WIRE FENCE
CT	COURT	LB	LICENSED BUSINESS	R	RADIUS	WOOD FENCE	WOOD FENCE
CL	CLEAR	LS	LAND SURVEYOR	(R)	RECORD	PROPERTY CORNER	PROPERTY CORNER
CONC.	CONCRETE	(M)	MEASURED	R.E.	RIM ELEVATION	WATER FLOW	WATER FLOW
C.O.	CLEAN OUT	NGVD	NATIONAL GEODETIC VERTICAL DATUM	R/W	RIGHT-OF-WAY	EXISTING GRADE ELEVATION	EXISTING GRADE ELEVATION
E.B.	ELECTRIC BOX	NO ID.	NOT IDENTIFIABLE	SAN.	SANITARY	PROPOSED GRADE ELEVATION	PROPOSED GRADE ELEVATION
ELEV.	ELEVATION	NO.	NUMBER	S.I.P.	SET IRON PIPE	WATER VALVE	WATER VALVE
ENCR.	ENCROACHMENT	NTS	NOT TO SCALE	S.I.R.	SET IRON ROD	SIGN	SIGN
E.R.P.	ELEVATION REFERENCE POINT	O.R.B.	OFFICIAL RECORD BOOK	ST.	STREET	DRAINAGE MANHOLE	DRAINAGE MANHOLE
F.F.	FINISH FLOOR	ON/PL	ON PROPERTY LINE	T	TANGENT	SANITARY MANHOLE	SANITARY MANHOLE
		O.U.L.	OVERHEAD UTILITY LINES	T.B.M.	TEMPORARY BENCH MARK	FIRE HYDRANT	FIRE HYDRANT
		P.C.	POINT OF CURVATURE	TEL.	TELEPHONE	LIGHTING FIXTURE	LIGHTING FIXTURE
						FIRE DEPARTMENT CONNECTION	FIRE DEPARTMENT CONNECTION

A BOUNDARY SURVEY

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MINIMUM TECHNICAL STANDARDS OF LAND SURVEYING IN THE STATE OF FLORIDA, AS OUTLINED IN RULES 5J-17, (FLORIDA ADMINISTRATIVE CODE), AS ADOPTED BY THE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN SEPTEMBER, 1981, AS AMENDED, PURSUANT TO CHAPTER 472.027 OF THE FLORIDA STATUTES, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

FRANCISCO F. FAJARDO
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER
REGISTRATION NO. 4767



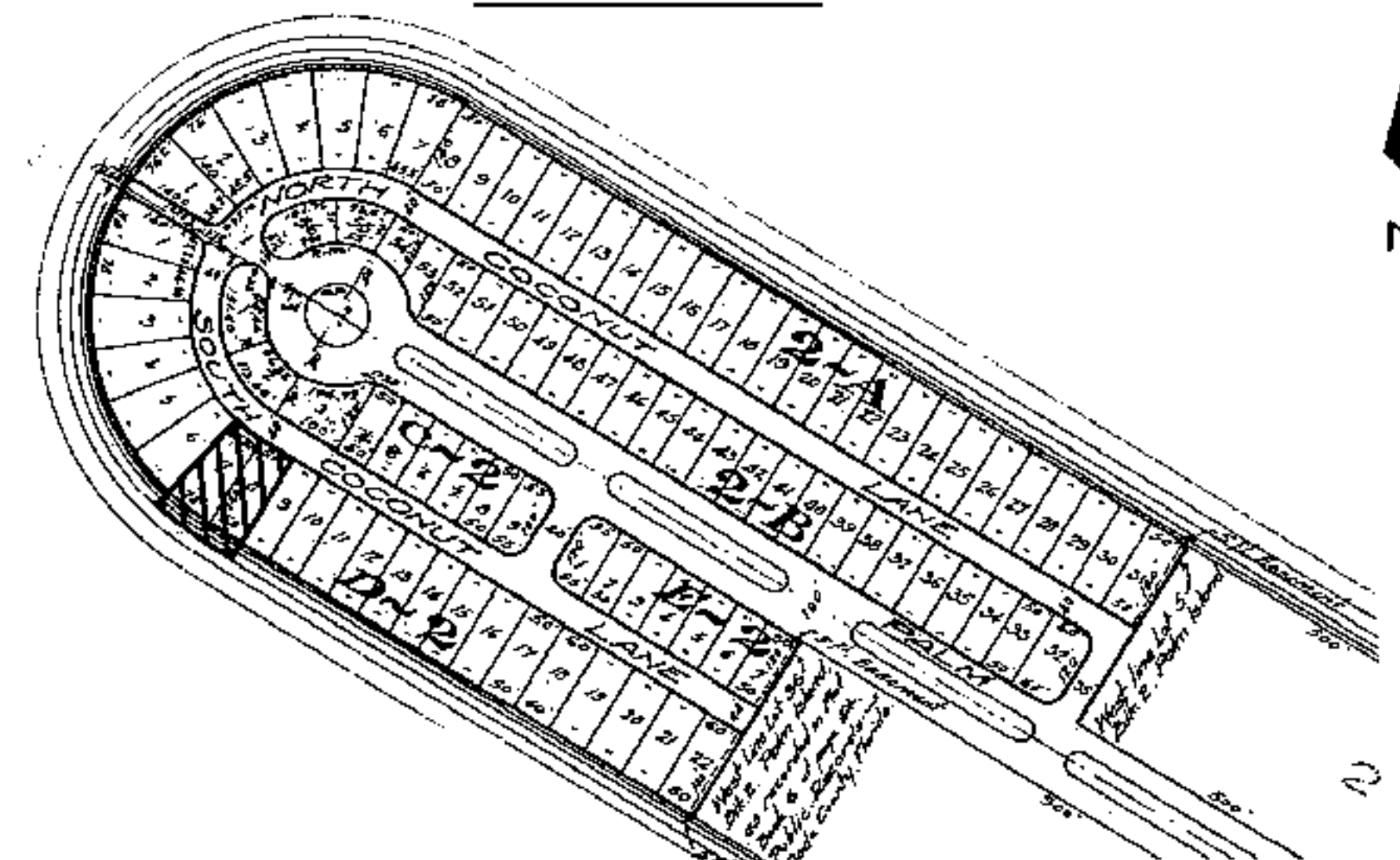
PROFESSIONAL SURVEYING AND MAPPING
LANNES & GARCIA, INC.

LB # 2098
FRANCISCO F. FAJARDO PSM # 4767 (QUALIFIER)
385 ALHAMBRA CIRCLE - SUITE C,
CORAL GABLES, FLORIDA 33134
PH (305) 666-7909 FAX (305) 559-3002

FIELD DATE:12-09-2013 SCALE: 1" = 30' DRAWN BY: M. PIO DWG. No.: 253937

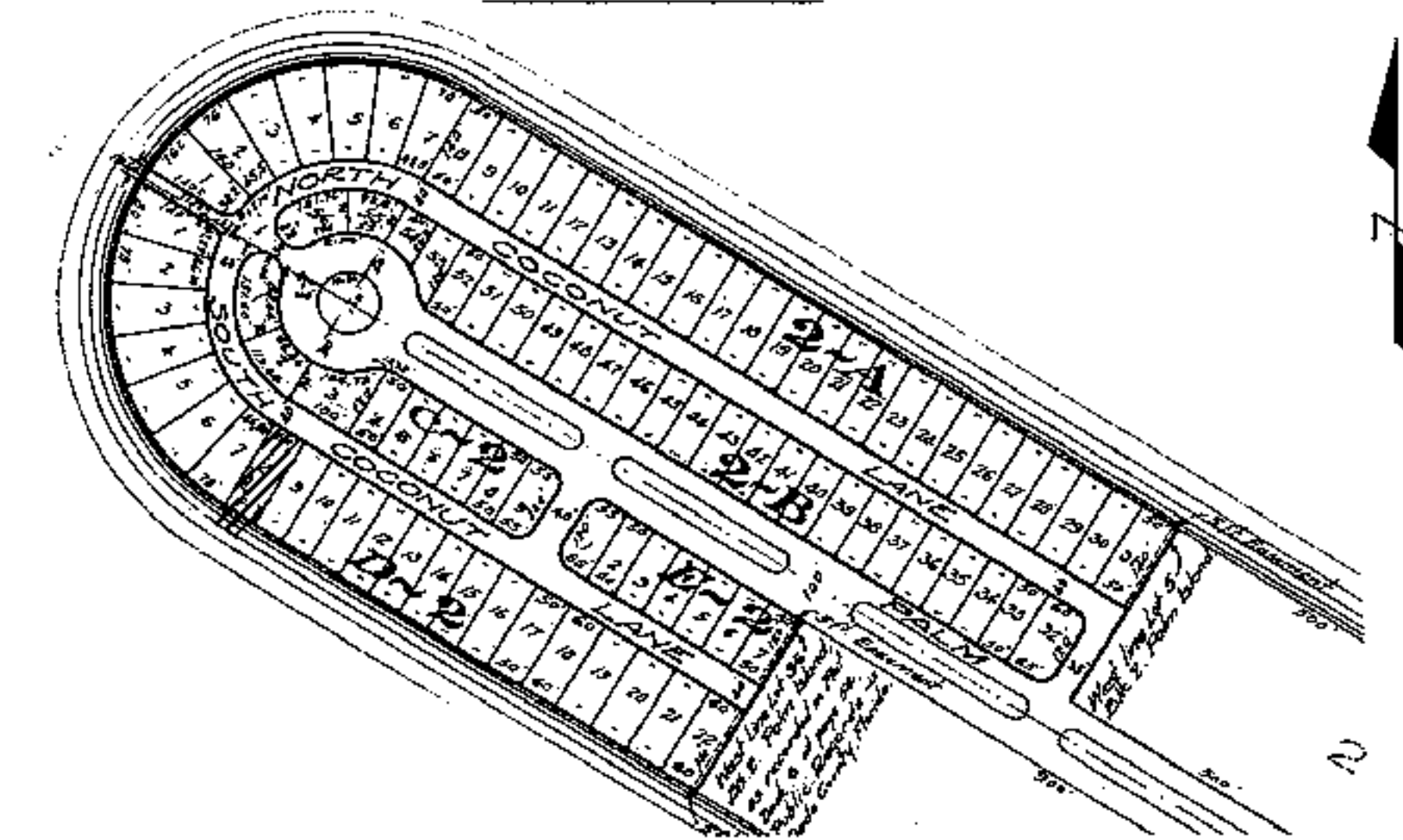
LOCATION SKETCH

NOT TO SCALE



LOCATION SKETCH

NOT TO SCALE



LEGAL DESCRIPTION:

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- 12) BEARINGS IF ANY SHOWN ARE BASED ON ASSUMED PLAT MERIDIAN AT: SOUTH RIGHT OF WAY LINE OF S. COCONUT LANE = S59°00'00"E

LEGEND

A/C	AIR CONDITIONER	F.H.	FIRE HYDRANT	P.C.C.	POINT OF COMPOUND CURVATURE	TYP.	TYPICAL
AVE.	AVENUE	I.C.V.	IRRIGATION CONTROL VALVE	P.C.P.	PERMANENT CONTROL POINT	U.E.	UTILITY EASEMENT
BLVD.	BOULEVARD	I.P.	IRON PIPE	PLS	PROFESSIONAL LAND SURVEYOR	W.M.	WATER METER
BM	BENCH MARK	FPL	FLORIDA POWER & LIGHT	PSM	PROFESSIONAL SURVEYOR AND MAPPER	W.V.	WATER VALVE
CATV	CABLE TELEVISION BOX	F.I.P.	FOUND IRON PIPE	PL	PROPERTY LINE	W.U.P.	WOOD UTILITY POLE
C.B.	CATCH BASIN	F.I.R.	FOUND IRON ROD	P.O.B.	POINT OF BEGINNING		
CBS	CONCRETE BLOCK STRUCTURE	FND.	FOUND	P.O.C.	POINT OF COMMENCEMENT		
CHB	CHORD BEARING	L	ARC LENGTH	P.R.C.	POINT OF REVERSE CURVATURE		
CH	CHORD DISTANCE	(L)	LEGAL	P.R.M.	PERMANENT REFERENCE MONUMENT		
COR	CORNER	L.P.	LIGHT POLE	P.T.	POINT OF TANGENCY		
CT	COURT	LB	LICENSED BUSINESS	R	RADIUS		
C	CENTERLINE	LS	LAND SURVEYOR	(R)	RECORD		
CL	CLEAR	(M)	MEASURED	R.E.	RIM ELEVATION		
CL	CLEAR	NGVD	NATIONAL GEODETIC VERTICAL DATUM	R/W	RIGHT-OF-WAY		
CONC.	CONCRETE	NO ID.	NOT IDENTIFIABLE	SAN.	SANITARY		
C.O.	CLEAN OUT	NO.	NUMBER	S.I.P.	SET IRON PIPE		
E.B.	ELECTRIC BOX	NTS	NOT TO SCALE	S.I.R.	SET IRON ROD		
ELEV.	ELEVATION	O.R.B.	OFFICIAL RECORD BOOK	ST.	STREET		
ENCR.	ENCROACHMENT	ON/PL	ON PROPERTY LINE	T	TANGENT		
E.R.P.	ELEVATION REFERENCE POINT	O.U.L.	OVERHEAD UTILITY LINES	T.B.M.	TEMPORARY BENCH MARK		
F.F.	FINISH FLOOR	P.C.	POINT OF CURVATURE	TEL.	TELEPHONE		

SYMBOLS

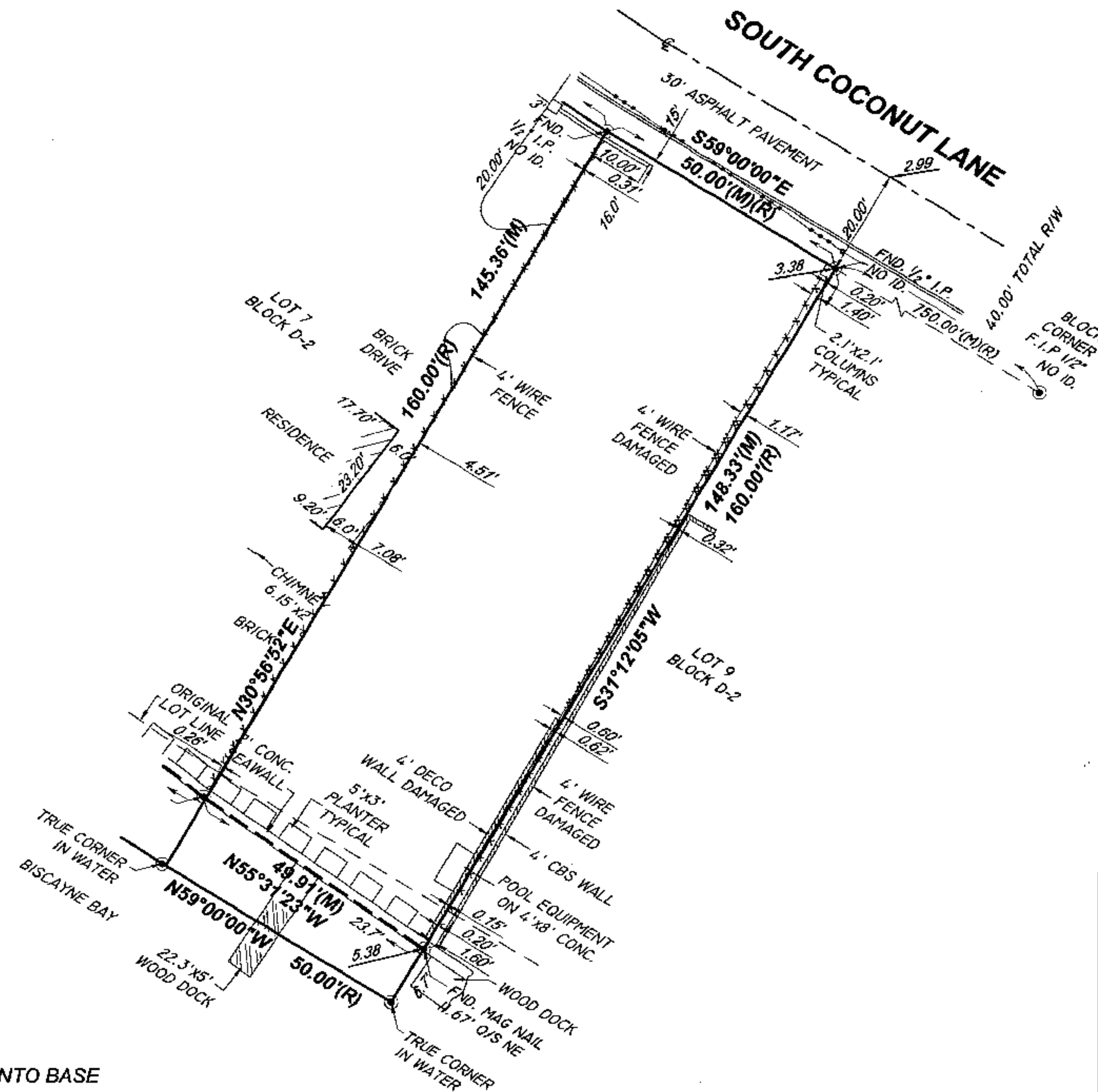
CONCRETE	OVERHEAD UTILITY LINES
WIRE FENCE	WOOD FENCE
PROPERTY CORNER	WATER FLOW
EXISTING GRADE ELEVATION	PROPOSED GRADE ELEVATION
WATER VALVE	SIGN
DRAINAGE MANHOLE	SANITARY MANHOLE
FIRE HYDRANT	LIGHTING FIXTURE
FIRE DEPARTMENT CONNECTION	

CERTIFIED TO:

LF DEVELOPMENT, LLC

*SURVEYORS NOTE:

ORIGINAL LOT LINE FALLS INTO BASE ELEVATION AE, 9.00. THE ADDITIONAL 20.00 FEET STRIP OF LAND INTO BISCAYNE BAY MAY FALL INTO BASE AE, ELEVATION 10.00.



FENCE ADDED:12-12-2013

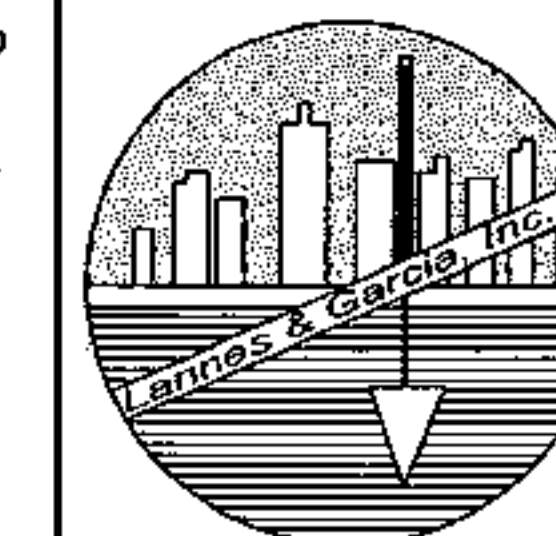
FLOOD ZONE: AE	PROPERTY OF: LF DEVELOPMENT, LLC
MAP & PANEL= 12086C0316	294 SOUTH COCONUT LANE
COMMUNITY No.: 120651	MIAMI BEACH, FLORIDA 33139
SUFFIX: L	
DATE OF FIRM: 09-11-2009	
BASE ELEV.= *9.00/10.00 NGVD1929	
L.F. ELEV. = 4.96	NOTES LOWEST HABITABLE FLOOR ELEVATION.
ELEVATIONS SHOWN REFER TO N.G.V.D. 1929.	
LOWEST ADJACENT GRADE = 4.50	
B.M. # D-135 ELEV. = 5.31	(MIAMI-DADE COUNTY)
GARAGE ELEV.= N/A	
E.R.P.= 2.80	

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

A BOUNDARY SURVEY

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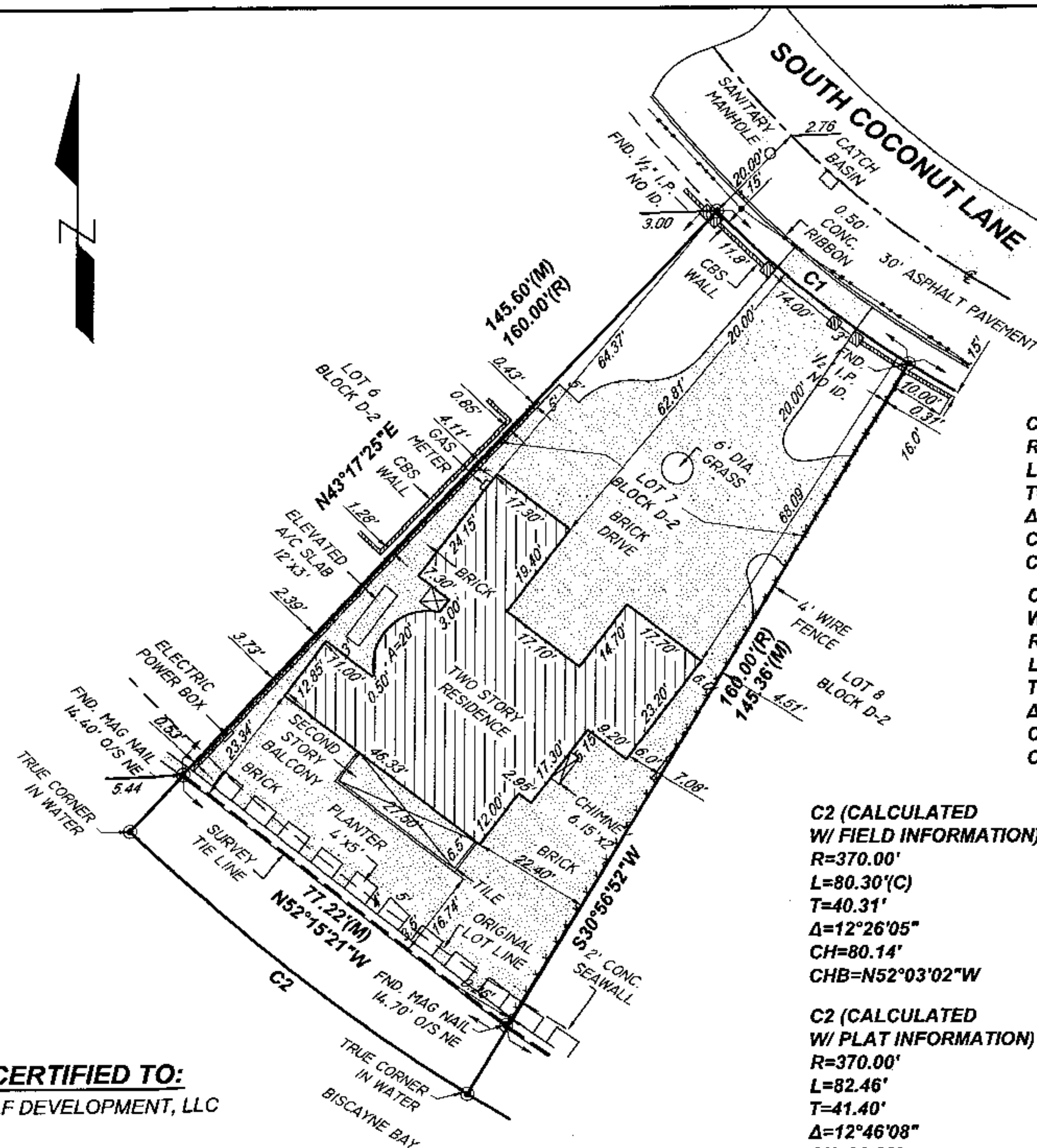


PROFESSIONAL SURVEYING AND MAPPING
LANNES & GARCIA, INC.

LB # 2098

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385 ALHAMBRA CIRCLE - SUITE C,
CORAL GABLES, FLORIDA 33134
PH (305) 666-7909 FAX (305) 559-3002

FIELD DATE:12-09-2013	SCALE: 1" = 30'	DRAWN BY: M. PIO	DWG. No.: 253937
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C1 (MEASURED)
 R=210.00'
 L=46.55'
 T=23.37'
 Δ=12°41'57"
 CH=46.45'
 CHB=S51°32'24"E

**C1 (CALCULATED
 W/ PLAT INFORMATION)**
 R=210.00'
 L=46.80'
 T=23.50'
 Δ=12°46'08"
 CH=46.70'
 CHB=S52°36'56"E

**C2 (CALCULATED
 W/ FIELD INFORMATION)**
 R=370.00'
 L=80.30'(C)
 T=40.31'
 Δ=12°26'05"
 CH=80.14'
 CHB=N52°03'02"W

**C2 (CALCULATED
 W/ PLAT INFORMATION)**
 R=370.00'
 L=82.46'
 T=41.40'
 Δ=12°46'08"
 CH=82.29'
 CHB=N52°36'56"W

CERTIFIED TO:
 LF DEVELOPMENT, LLC

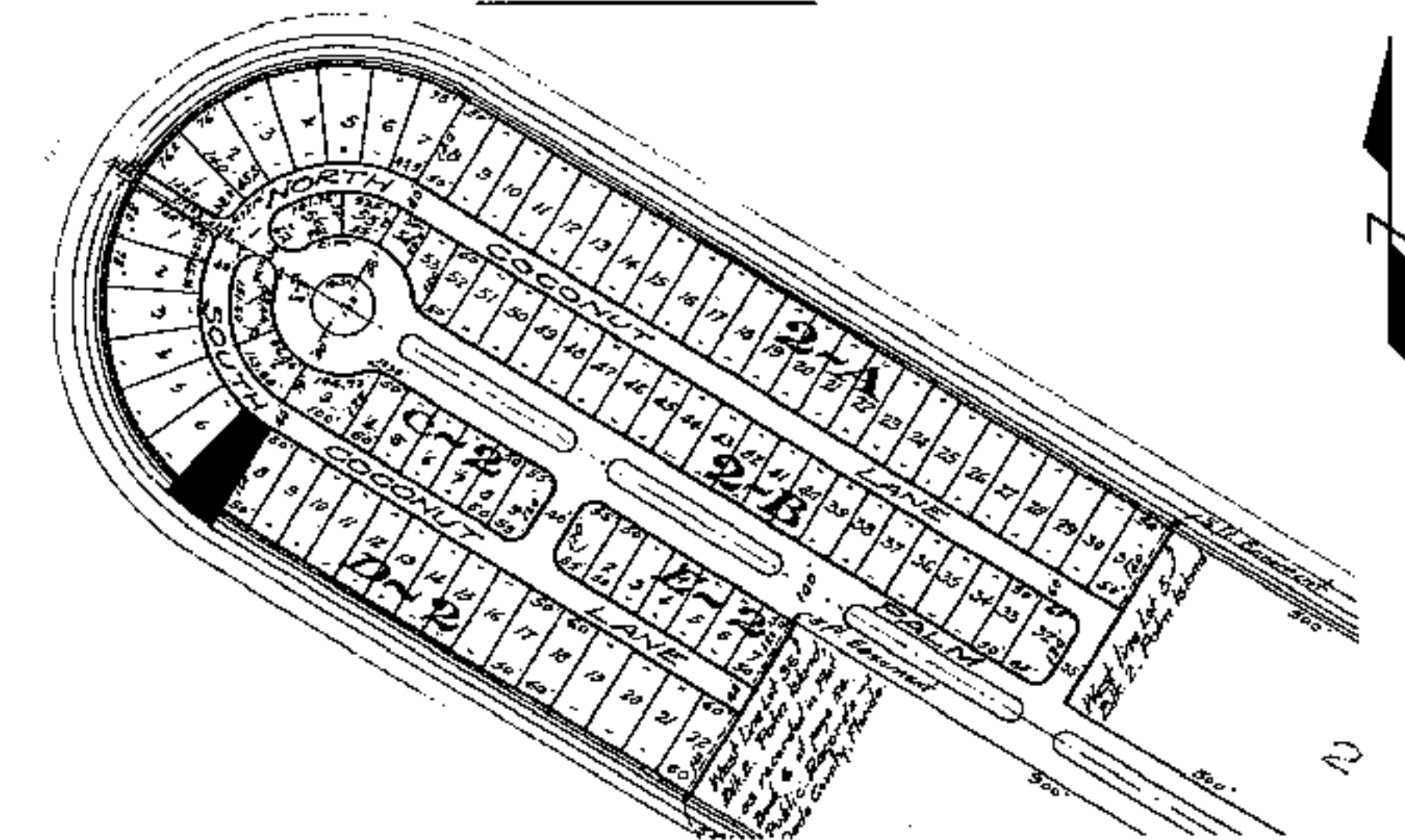
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 ELEVATION AE, 9.00. THE ADDITIONAL
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 BISCAYNE BAY MAY FALL INTO BASE
 AE, ELEVATION 10.00.

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LOCATION SKETCH

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LEGEND

A/C AIR CONDITIONER	F.H. FIRE HYDRANT	P.C.C. POINT OF COMPOUND CURVATURE	TYP. TYPICAL
AVE. AVENUE	I.C.V. IRRIGATION CONTROL VALVE	P.C.P. PERMANENT CONTROL POINT	U.E. UTILITY EASEMENT
BLVD. BOULEVARD	I.P. IRON PIPE	PLS. PROFESSIONAL LAND SURVEYOR	W.M. WATER METER
BM BENCHMARK	FPL FLORIDA POWER & LIGHT	PSM PROFESSIONAL SURVEYOR AND MAPPER	W.V. WATER VALVE
CATV CABLE TELEVISION BOX	F.I.P. FOUND IRON PIPE	PL PROPERTY LINE	W.U.P. WOOD UTILITY POLE
C.B. CATCH BASIN	F.I.R. FOUND IRON ROD	P.O.B. POINT OF BEGINNING	SYMBOLS
CBS CONCRETE BLOCK STRUCTURE	FND. FOUND	P.O.C. POINT OF COMMENCEMENT	CONCRETE
CHB CHORD BEARING	L. ARC LENGTH	P.O.R. POINT OF REVERSE CURVATURE	OVERHEAD UTILITY LINES
CH CHORD DISTANCE	(L) LEGAL	P.R.M. PERMANENT REFERENCE MONUMENT	WIRE FENCE
COR CORNER	L.P. LIGHT POLE	P.T. POINT OF TANGENCY	WOOD FENCE
CT COURT	LB LICENSED BUSINESS	R. RADIUS	PROPERTY CORNER
CL CLEAR	LS LAND SURVEYOR	(R) RECORD	WATER FLOW
CONC. CONCRETE	(M) MEASURED	R.E. RIM ELEVATION	EXISTING GRADE ELEVATION
C.O. CLEAN OUT	NGVD NATIONAL GEODETIC VERTICAL DATUM	R/W RIGHT-OF-WAY	PROPOSED GRADE ELEVATION
E.B. ELECTRIC BOX	NO ID. NOT IDENTIFIABLE	SAN. SANITARY	WATER VALVE
ELEV. ELEVATION	NO. NUMBER	S.I.P. SET IRON PIPE	SIGN
ENCR. ENCROACHMENT	NTS NOT TO SCALE	S.I.R. SET IRON ROD	DRAINAGE MANHOLE
E.R.P. ELEVATION REFERENCE POINT	O.R.B. OFFICIAL RECORD BOOK	ST. STREET	SANITARY MANHOLE
F.F. FINISH FLOOR	ON/PL ON PROPERTY LINE	T. TANGENT	FIRE HYDRANT
	O.U.L. OVERHEAD UTILITY LINES	T.B.M. TEMPORARY BENCH MARK	LIGHTING FIXTURE
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LB # 2098

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FLOOD ZONE: AE	PROPERTY OF: LF DEVELOPMENT, LLC
MAP & PANEL= 12086C0316	
COMMUNITY No.: 120651	
SUFFIX: L	
DATE OF FIRM: 09-11-2009	294 SOUTH COCONUT LANE
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L.F. ELEV. = 4.96	NOTES LOWEST HABITABLE FLOOR ELEVATION.
ELEVATIONS SHOWN REFER TO N.G.V.D. 1929.	
LOWEST ADJACENT GRADE = 4.50	
B.M. # D-135 ELEV. = 5.31	(MIAMI-DADE COUNTY)
GARAGE ELEV.= N/A	
E.R.P.= 2.80	

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

FIELD DATE:12-09-2013 SCALE: 1" = 30' DRAWN BY: M. PIO DWG. No.: 253937

LOT 7 & 8
LEGAL DESCRIPTION

LOTS 7 AND 8, BLOCK D-2, "AMENDED RIVERA AND THE FIRST AND SECOND ADDITIONS", THERETO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 32, PAGE 37, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; AND A STRIP OF LAND 20 FEET WIDE ABUTTING THE WATERFRONT END OF LOTS 7 AND 8, OF BLOCK D-2, OF AMENDED RIVERA AND THE FIRST AND SECOND ADDITIONS THERETO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 32, PAGE 37, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; BEING A PART OF THE 20 FOOT STRIP OF LAND IN CIRCLING PALM ISLAND CONVEYED BY THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND TO THE BISCAYNE BAY ISLAND COMPANY BY DEED DATED SEPTEMBER 14, 1933 AND RECORDED IN DEED BOOK 1501, AT PAGE 4TH OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA.

LOT AREA

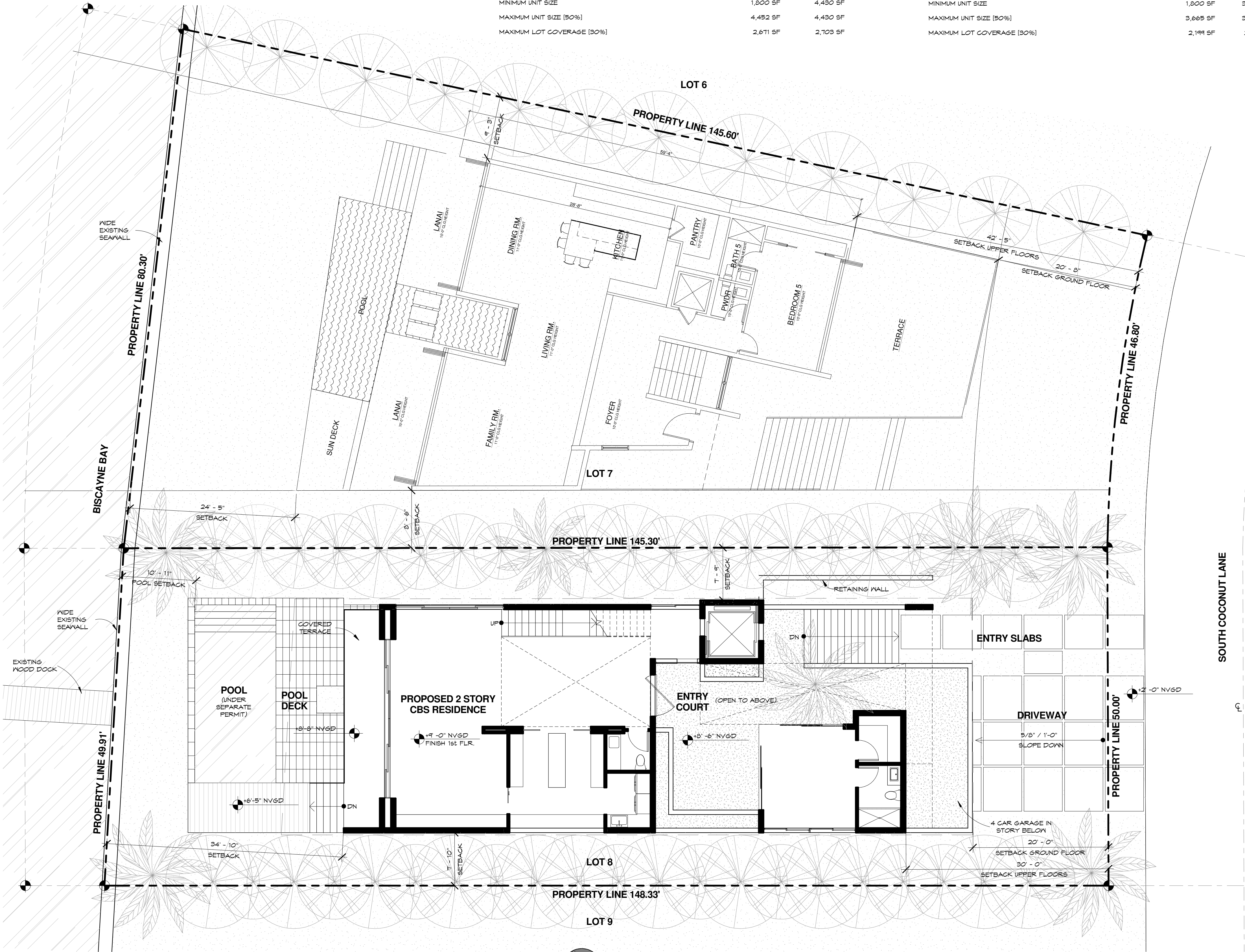
LOT-7	8,903 SF
LOT-8	7,330 SF
TOTAL: 16,233 SF	

LOT 7
ZONING DATA

CLASSIFICATION	REQUIRED	PROVIDED
RS-4	RS-4	RS-4
FLOOD ZONE	AE	AE
MIN. FLOOD ELEVATION (NGVD)	+9'-0" NGVD	+9'-0" NGVD
MINIMUM LOT AREA	6,000 SF	8,903 SF
MINIMUM LOT WITH	50'-0"	46'-80"
MAXIMUM BUILDING HEIGHT		
MAIN BUILDING (50% OF LOT WITH UP TO 33')	25'-0"	24'-0"
ACCESSORY STRUCTURE (ONE-STORY)	18'-0"	-
MINIMUM SETBACKS		
FRONT SETBACK 1ST FLOOR	20'-0"	20'-8"
FRONT SETBACK 2ND FLOOR (10 ADDITIONAL FEET)	30'-0"	42'-8"
REAR SETBACK (15% OF THE LOT DEPTH(20'±50'))	24'-0"	24'-5"
SIDE SETBACKS (±10% OF THE LOT WITH OR T-6", THE SUM OF SIDE YARD NOT LESS THAN 25% OF LOT WITH)	17'-4"	8'-6", 9'-3"
MINIMUM UNIT SIZE	1,800 SF	4,430 SF
MAXIMUM UNIT SIZE (50%)	4,452 SF	4,430 SF
MAXIMUM LOT COVERAGE (50%)	2,671 SF	2,703 SF

LOT 8
ZONING DATA

CLASSIFICATION	REQUIRED	PROVIDED
RS-4	RS-4	RS-4
FLOOD ZONE	AE	AE
MIN. FLOOD ELEVATION (NGVD)	+9'-0" NGVD	+9'-0" NGVD
MINIMUM LOT AREA	6,000 SF	7,330 SF
MINIMUM LOT WITH	50'-0"	50'-0"
MAXIMUM BUILDING HEIGHT		
MAIN BUILDING (50% OF LOT WITH UP TO 33')	25'-0"	24'-0"
ACCESSORY STRUCTURE (ONE-STORY)	18'-0"	-
MINIMUM SETBACKS		
FRONT SETBACK 1ST FLOOR	20'-0"	20'-0"
FRONT SETBACK 2ND FLOOR (10 ADDITIONAL FEET)	30'-0"	30'-0"
REAR SETBACK (15% OF THE LOT DEPTH(20'±50'))	24'-0"	34'-10"
SIDE SETBACKS (±10% OF THE LOT WITH OR T-6", THE SUM OF SIDE YARD NOT LESS THAN 25% OF LOT WITH)	15'-0"	T-4", T-10"
MINIMUM UNIT SIZE	1,800 SF	3,662 SF
MAXIMUM UNIT SIZE (50%)	3,665 SF	3,662 SF
MAXIMUM LOT COVERAGE (50%)	2,199 SF	2,196 SF



SITE PLAN COMBINED
SCALE: 1/8" = 1'-0"

PROPOSED LOT SPLIT
294 SOUTH COCONUT LANE,
MIAMI BEACH, FL 33139

SEAL

ralph choeff
registered architect
AR0009679

comm no.
1350

date:
12/23/13

revised:

sheet no.
A-0.3

choeff + levy p.a.
interior design
architecture

8425 biscayne blvd, suite 201
miami, florida 33138

www.choefflevy.com
AR0009679 AR0094779

Phone: 305.434.8338
Fax: 305.892.5292



🕒 Miami Beach



Palm Island





Site - 294 S Coconut Lane

PROPOSED LOT SPLIT
294 SOUTH COCONUT LANE,
MIAMI BEACH, FL 33139

SEAL

ralph choeff
registered architect
AR0009679

comm no.
1350

date:
12/23/13

revised:



Residence 1



Residence 2



Residence 3



Residence 4



5



Residence 6



Residence 7



Residence 8



Residence 9



294 S Coconut Lane



Context



Front Perspecitve - Lot A

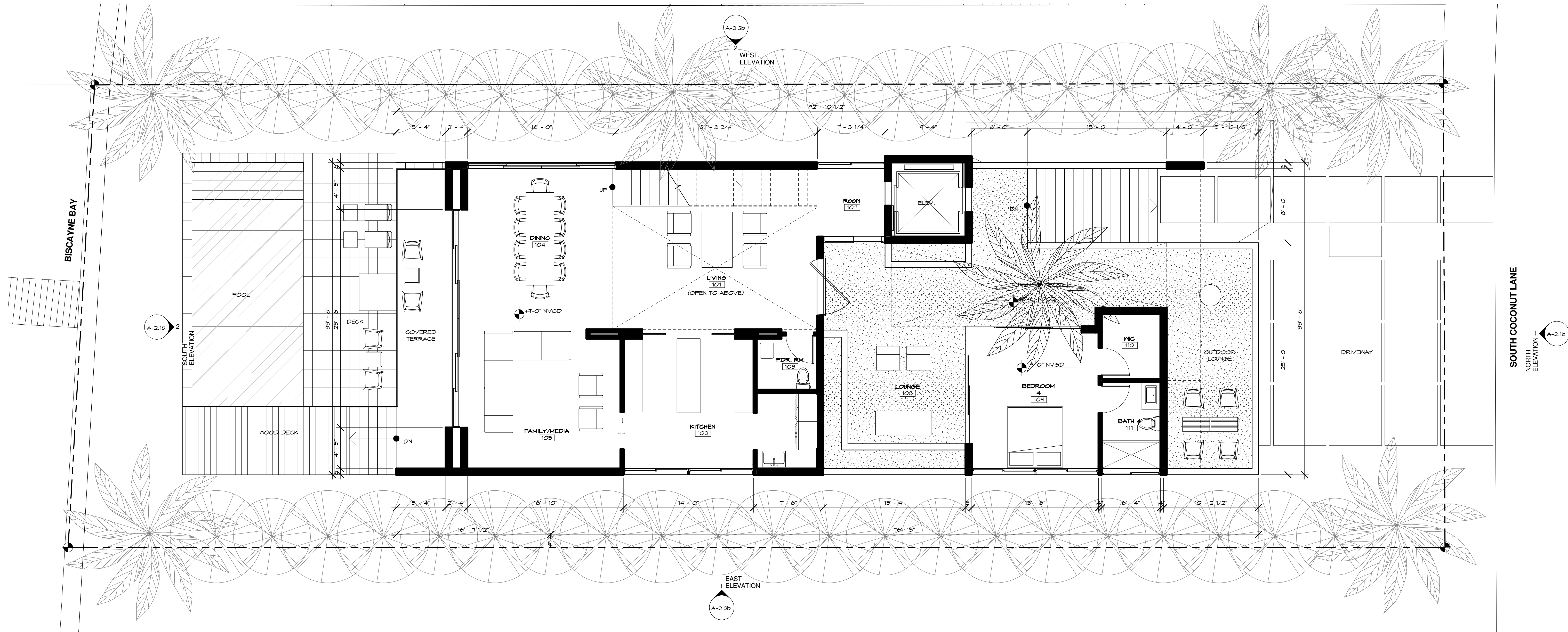


Front Perspective - Lot B



Rear Perspective - Lot A





FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

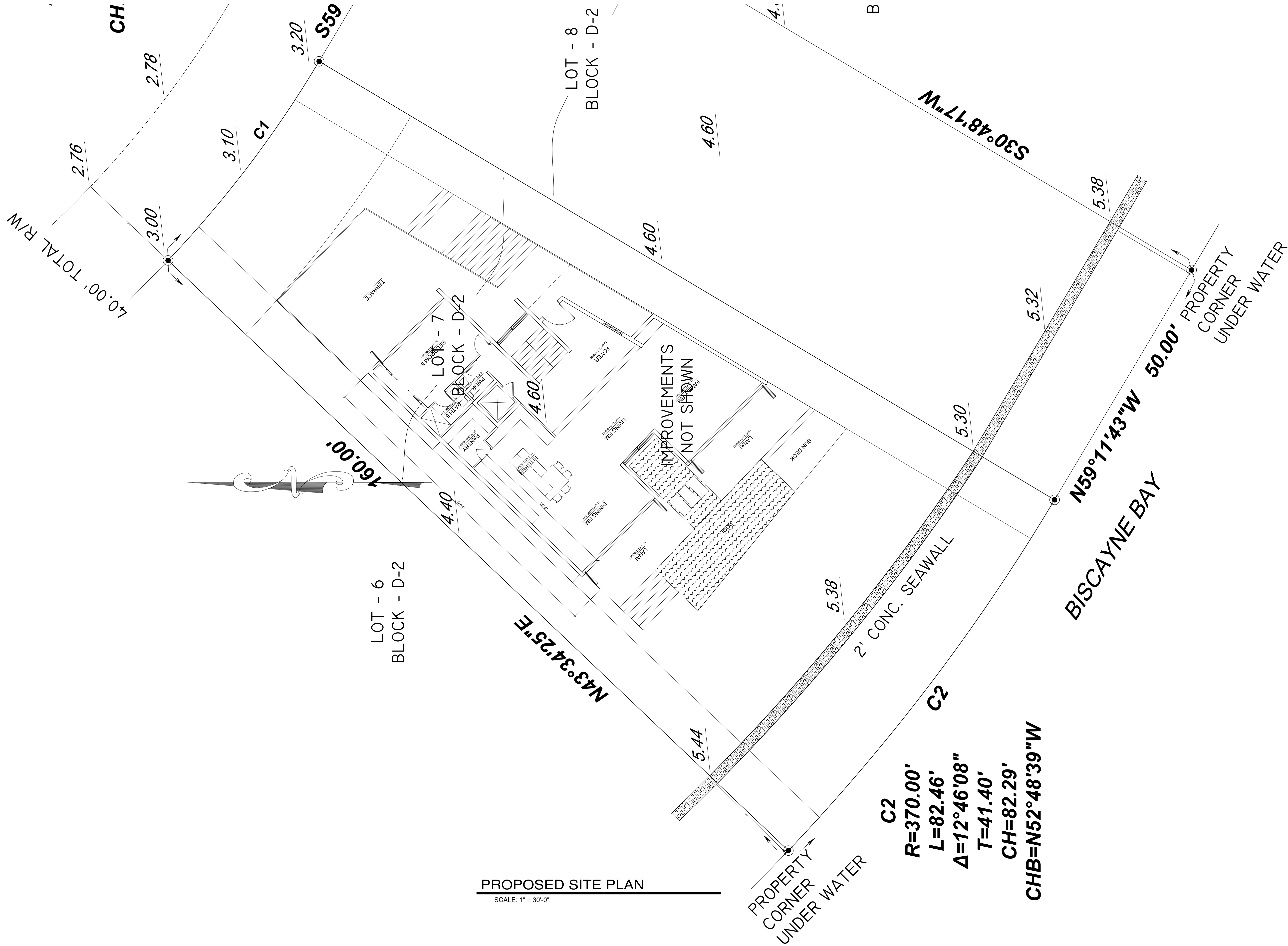
PROPOSED LOT SPLIT
294 SOUTH COCONUT LANE,
MIAMI BEACH, FL 33139

SEAL

ralph choeff
registered architect
AR0009679

comm no.
1350
date:
12/23/13
revised:

sheet no.
A-1.3b



PROPOSED SITE PLAN
SCALE: 1" = 30'-0"

DESIGNER:

PHIL KEAN DESIGN GROUP
ARCHITECTURE / CONSTRUCTION / INTERIORS
912 W. Fairbanks Avenue
Winter Park, Florida 32789
PH 407-599-3922, FAX 407-599-3923
WWW.PHILKEANDSIGN.COM

ENGINEER:

PROJECT INFO:

294 S. COCONUT LANE
MIAMI BEACH, FL

PLAN HISTORY:

DATE	DESCRIPTION
2-17-13	PRELIM DESIGN

SHEET DATA:

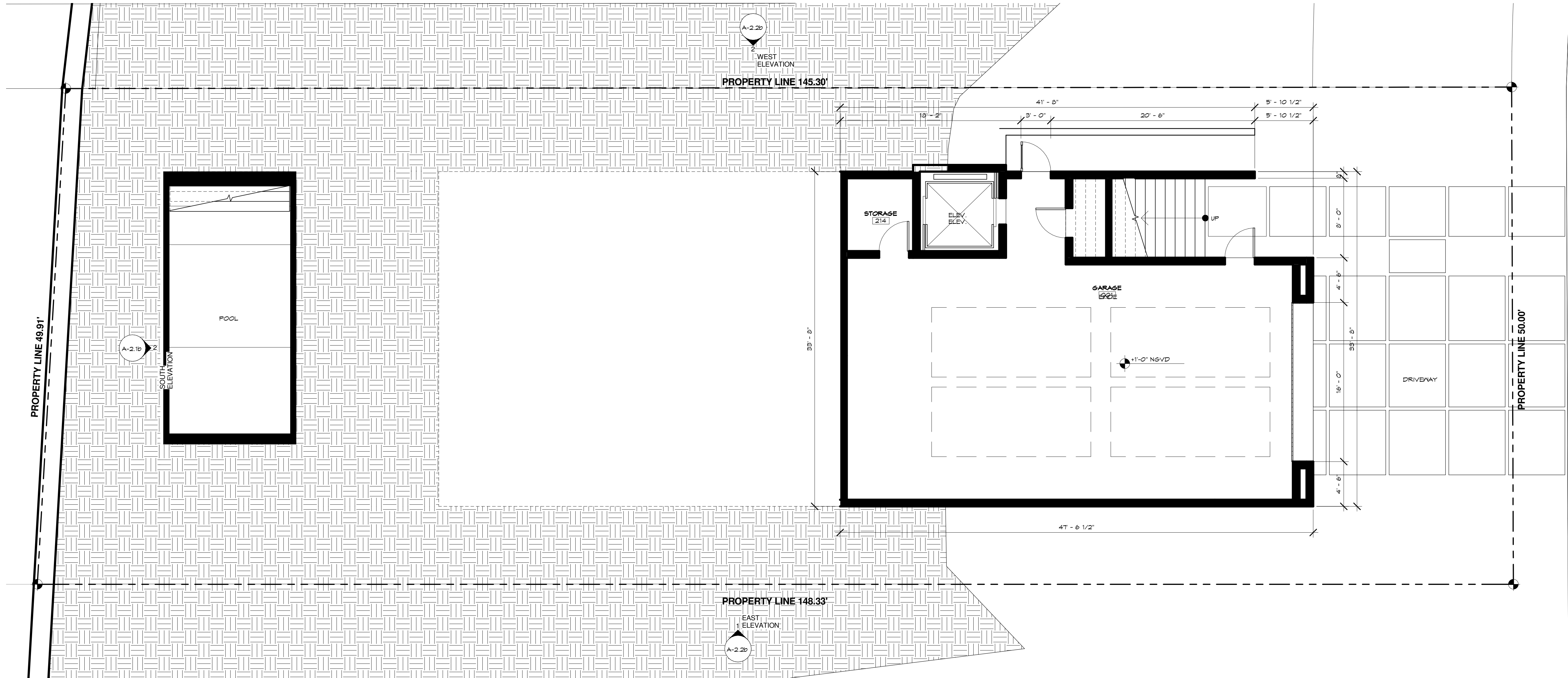
DESIGNED BY: PHIL KEAN
DRAWN BY: MITCH BURDEN

SHEET DESCRIPTION:

SITE PLAN

SHEET:

AS



GROUND FLOOR PLAN
SCALE: 3/16" = 1'-0"

PROPOSED LOT SPLIT
294 SOUTH COCONUT LANE,
MIAMI BEACH, FL 33139

SEAL

ralph choeff
registered architect
AR0009679

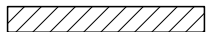
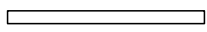
comm no.
1350

date:
12/23/13

revised:

sheet no.
A-1.2b



WALL LEGEND	
	10'-0" BLOCK WALL
	11'-4" BLOCK WALL
	2X INTERIOR WALL
	2X INTERIOR BEARING WALL

MAIN LEVEL	
A/C:	1,959
LANAI/LIVING:	241
ROOF GARDEN:	676

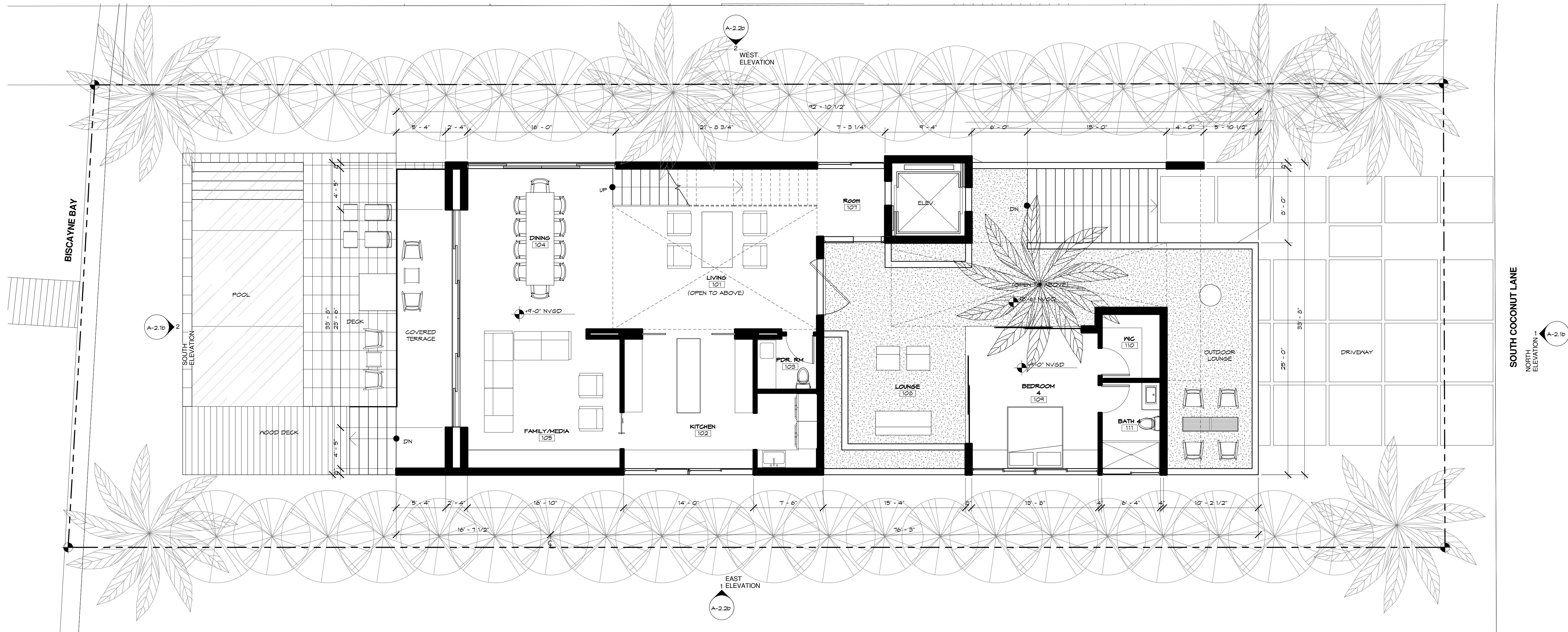
SECOND LEVEL	
A/C:	1814
COVERED BALCONY:	241

LOWER LEVEL	
A/C:	175
GARAGE:	1,090

:

TOTALS	
A/C:	3,948
GARAGE:	1,090
LANAI:	241
COVERED BALCONY:	241
TOTAL UNDER ROOF:	5,520
ROOF GARDEN:	676

1.1



FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

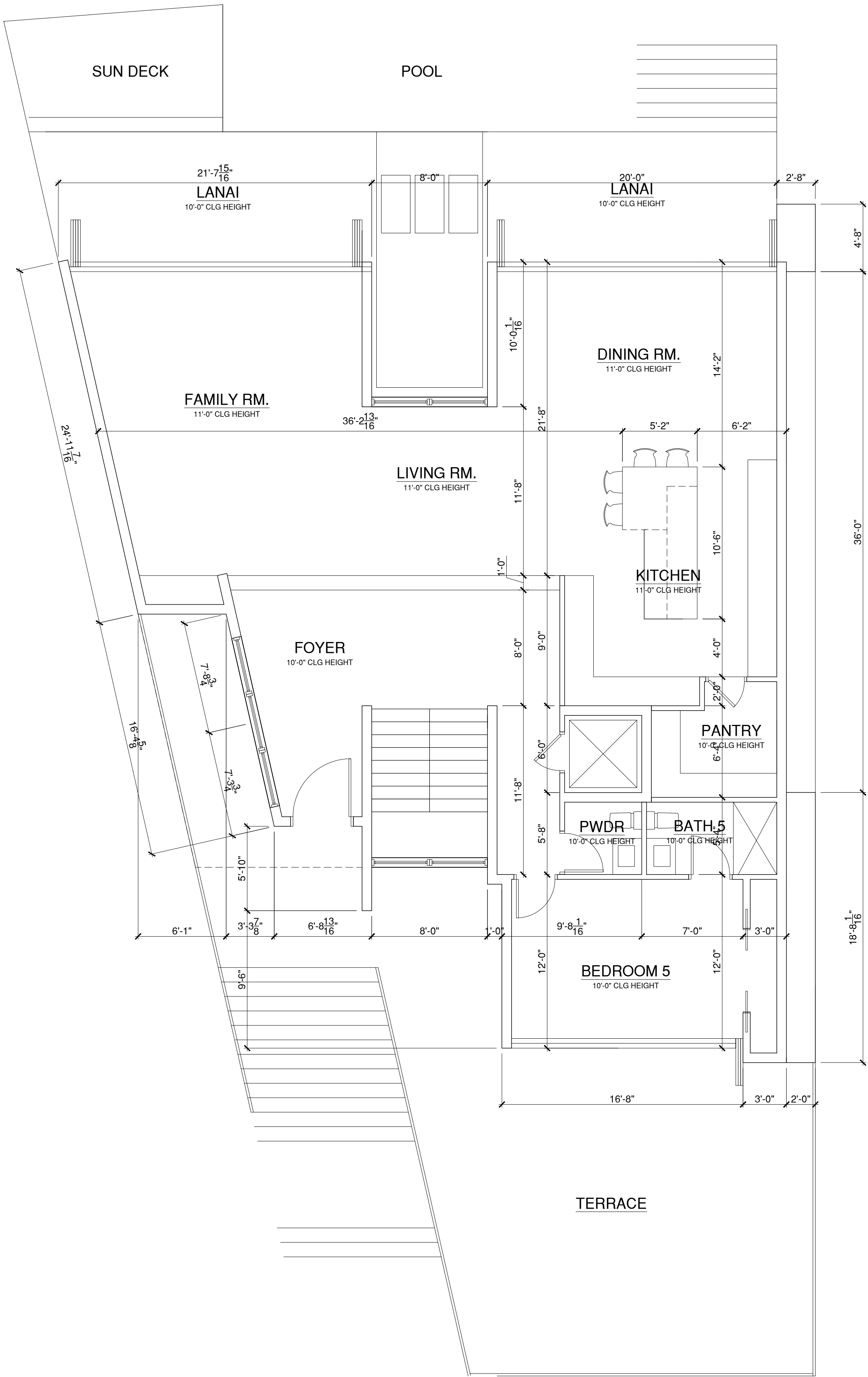
PROPOSED LOT SPLIT
294 SOUTH COCONUT LANE,
MIAMI BEACH, FL 33139

SEAL

ralph choeff
registered architect
AR0009679

comm no.
1350
date:
12/23/13
revised:

sheet no.
A-1.3b



MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE			
TAG	WIDTH	HEIGHT	NOTES
A	X'-X"	X'-X"	xxxxxxxx
B	X'-X"	X'-X"	xxxxxxxx
C	X'-X"	X'-X"	xxxxxxxx
D	X'-X"	X'-X"	xxxxxxxx
E	X'-X"	X'-X"	xxxxxxxx
F	X'-X"	X'-X"	xxxxxxxx
G	X'-X"	X'-X"	xxxxxxxx
H	X'-X"	X'-X"	xxxxxxxx
I	X'-X"	X'-X"	xxxxxxxx
J	X'-X"	X'-X"	xxxxxxxx
K	X'-X"	X'-X"	xxxxxxxx

DOOR SCHEDULE			
EXTERIOR			
TAG	WIDTH	HEIGHT	NOTES
1	X'-X"	X'-X"	xxxxxxxx
2	X'-X"	X'-X"	xxxxxxxx
3	X'-X"	X'-X"	xxxxxxxx
4	X'-X"	X'-X"	xxxxxxxx
5	X'-X"	X'-X"	xxxxxxxx
6	X'-X"	X'-X"	xxxxxxxx
7	X'-X"	X'-X"	xxxxxxxx
8	X'-X"	X'-X"	xxxxxxxx

INTERIOR			
9	X'-X"	X'-X"	xxxxxxxx
10	X'-X"	X'-X"	xxxxxxxx
11	X'-X"	X'-X"	xxxxxxxx
12	X'-X"	X'-X"	xxxxxxxx
13	X'-X"	X'-X"	xxxxxxxx
14	X'-X"	X'-X"	xxxxxxxx
15	X'-X"	X'-X"	xxxxxxxx
16	X'-X"	X'-X"	xxxxxxxx
17	X'-X"	X'-X"	xxxxxxxx
18	X'-X"	X'-X"	xxxxxxxx
19	X'-X"	X'-X"	xxxxxxxx
20	X'-X"	X'-X"	xxxxxxxx
21	X'-X"	X'-X"	xxxxxxxx
22	X'-X"	X'-X"	xxxxxxxx
23	X'-X"	X'-X"	xxxxxxxx

WALL LEGEND	
	10'-0" BLOCK WALL
	11'-4" BLOCK WALL
	2X INTERIOR WALL
	2X INTERIOR BEARING WALL
MAIN LEVEL	
A/C:	1,959
LANAI LIVING:	241
ROOF GARDEN:	676
SECOND LEVEL	
A/C:	1814
COVERED BALCONY:	241
LOWER LEVEL	
A/C:	175
GARAGE:	1,090
TOTALS	
A/C:	3,948
GARAGE:	1,090
LANAI:	241
COVERED BALCONY:	241
TOTAL UNDER ROOF:	5,520
ROOF GARDEN:	676

DESIGNER:

PHIL KEAN DESIGN GROUP
ARCHITECTURE / CONSTRUCTION / INTERIORS

912 W. Fairbanks Avenue
Winter Park, Florida 32789
PH 407-599-3922, FAX 407-599-3923

WWW.PHILKEANDESIGNS.COM

ENGINEER:

PROJECT INFO:

294 S. COCONUT LANE
MIAMI BEACH, FL

PLAN HISTORY:

DATE	DESCRIPTION
2-17-13	PRELIM DESIGN

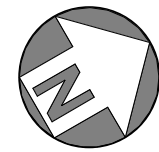
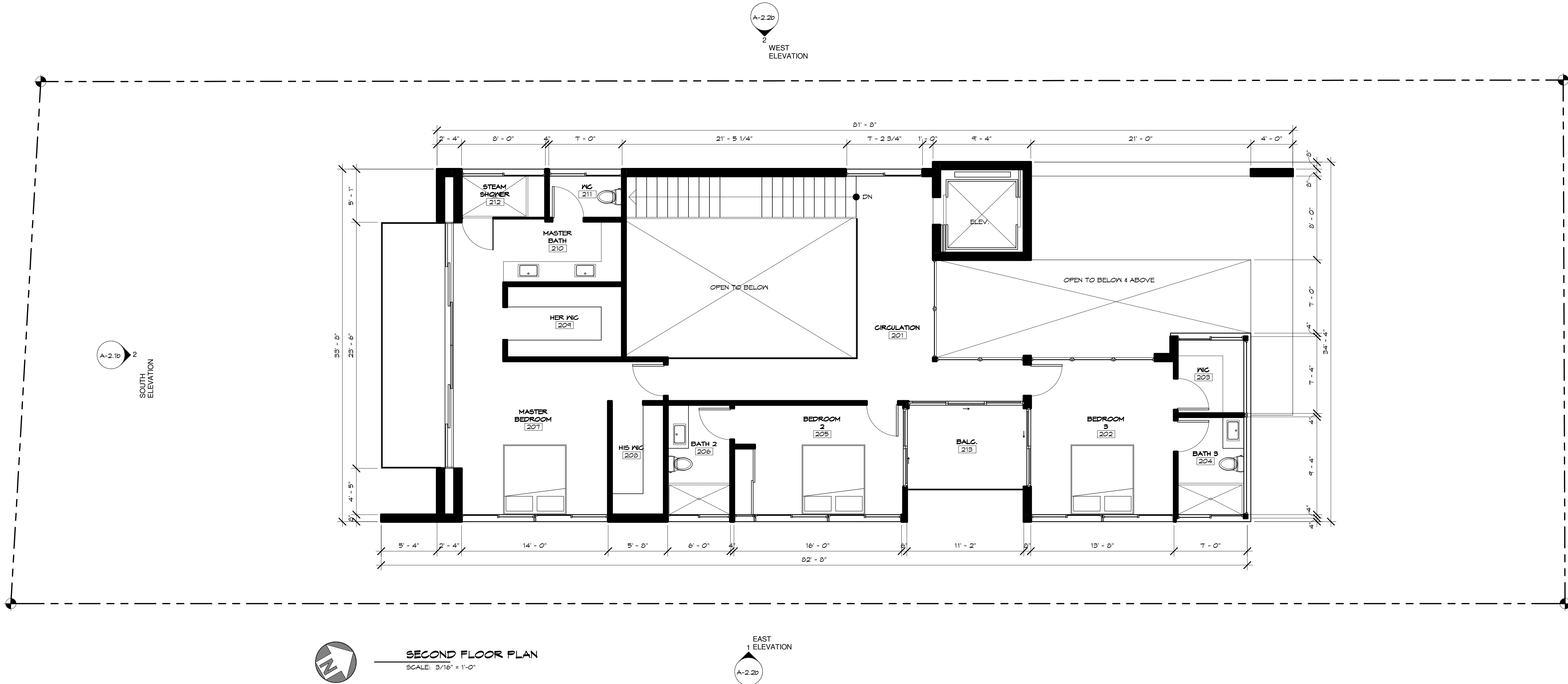
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DESIGNED BY: PHIL KEAN
DRAWN BY: MITCH BURDEN

SHEET DESCRIPTION:

MAIN LEVEL FLOOR PLAN

SHEET:



SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

PROPOSED LOT SPLIT
294 SOUTH COCONUT LANE,
MIAMI BEACH, FL 33139

SEAL

ralph choeff
registered architect
AR0009679

comm no.
1350

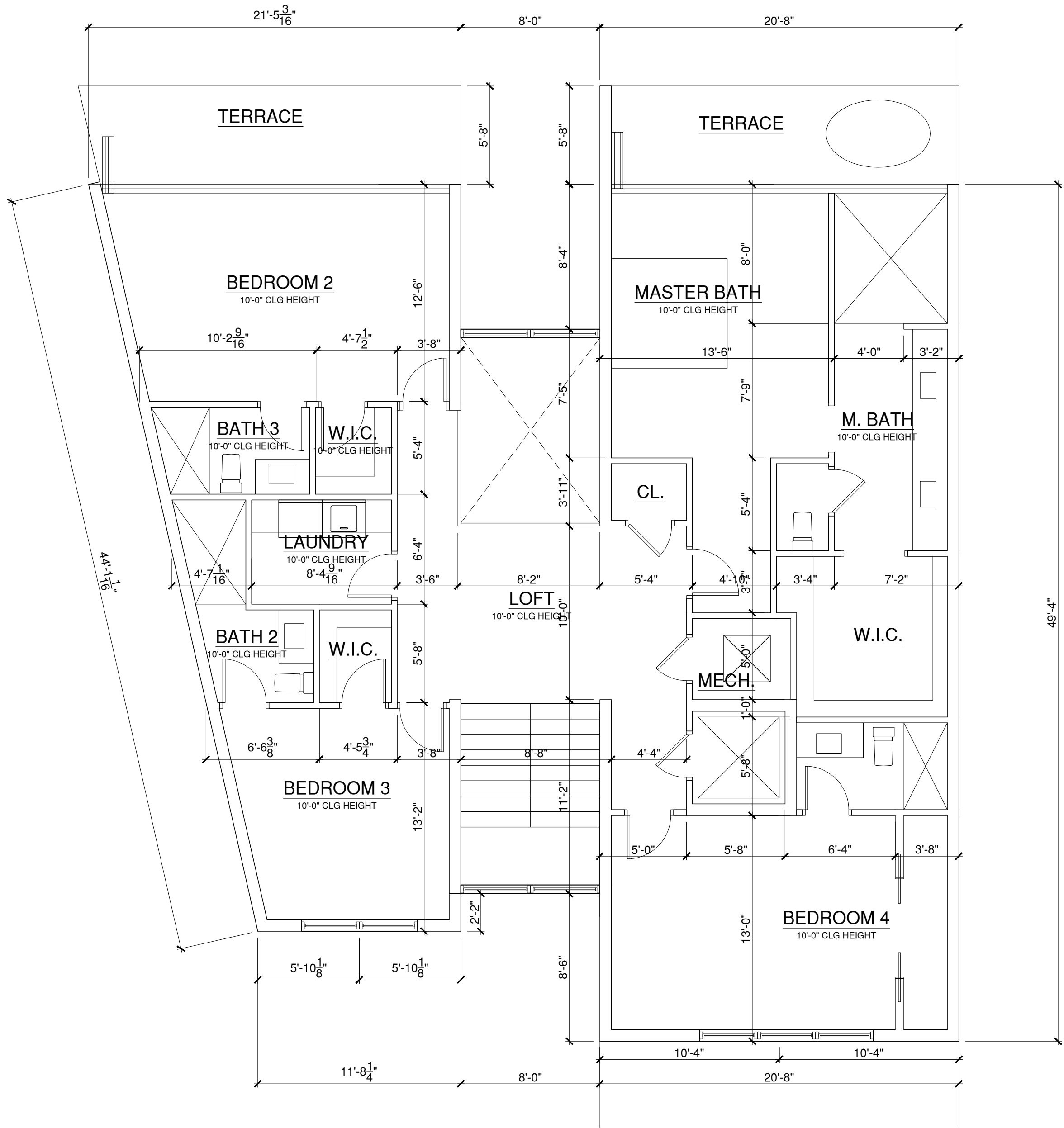
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A-1.4b

choeff + levy p.a.
architecture interior design

8425 biscayne blvd., suite 201
miami, florida 33138
www.choefflevy.com
AR0009679 AR0094779
Phone: 305.434.8338
Fax: 305.892.5292



UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE			
TAG	WIDTH	HEIGHT	NOTES
A	X'-X"	X'-X"	xxxxxxxx
B	X'-X"	X'-X"	xxxxxxxx
C	X'-X"	X'-X"	xxxxxxxx
D	X'-X"	X'-X"	xxxxxxxx
E	X'-X"	X'-X"	xxxxxxxx
F	X'-X"	X'-X"	xxxxxxxx
G	X'-X"	X'-X"	xxxxxxxx
H	X'-X"	X'-X"	xxxxxxxx
I	X'-X"	X'-X"	xxxxxxxx
J	X'-X"	X'-X"	xxxxxxxx
K	X'-X"	X'-X"	xxxxxxxx

DOOR SCHEDULE			
EXTERIOR			
TAG	WIDTH	HEIGHT	NOTES
1	X'-X"	X'-X"	xxxxxxxx
2	X'-X"	X'-X"	xxxxxxxx
3	X'-X"	X'-X"	xxxxxxxx
4	X'-X"	X'-X"	xxxxxxxx
5	X'-X"	X'-X"	xxxxxxxx
6	X'-X"	X'-X"	xxxxxxxx
7	X'-X"	X'-X"	xxxxxxxx
8	X'-X"	X'-X"	xxxxxxxx

INTERIOR			
9	X'-X"	X'-X"	xxxxxxxx
10	X'-X"	X'-X"	xxxxxxxx
11	X'-X"	X'-X"	xxxxxxxx
12	X'-X"	X'-X"	xxxxxxxx
13	X'-X"	X'-X"	xxxxxxxx
14	X'-X"	X'-X"	xxxxxxxx
15	X'-X"	X'-X"	xxxxxxxx
16	X'-X"	X'-X"	xxxxxxxx
17	X'-X"	X'-X"	xxxxxxxx
18	X'-X"	X'-X"	xxxxxxxx
19	X'-X"	X'-X"	xxxxxxxx
20	X'-X"	X'-X"	xxxxxxxx
21	X'-X"	X'-X"	xxxxxxxx
22/23	X'-X"	X'-X"	xxxxxxxx

WALL LEGEND	
	10'-0" BLOCK WALL
	11'-4" BLOCK WALL
	2X INTERIOR WALL
	2X INTERIOR BEARING WALL

MAIN LEVEL	
A/C:	1,959
LANAI LIVING:	241
ROOF GARDEN:	676

SECOND LEVEL	
A/C:	1814
COVERED BALCONY:	241

LOWER LEVEL	
A/C:	175
GARAGE:	1,090
:	

TOTALS	
A/C:	3,948
GARAGE:	1,090
LANAI:	241
COVERED BALCONY:	241
TOTAL UNDER ROOF:	5,520
ROOF GARDEN:	676

DESIGNER:

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ARCHITECTURE / CONSTRUCTION / INTERIORS

912 W. Fairbanks Avenue
Winter Park, Florida 32789
PH 407-599-3922, FAX 407-599-3923

WWW.PHILKEANDESIGNS.COM

ENGINEER:

PROJECT INFO:

294 S. COCONUT LANE
MIAMI BEACH, FL

PLAN HISTORY:

DATE	DESCRIPTION
2-17-13	PRELIM DESIGN

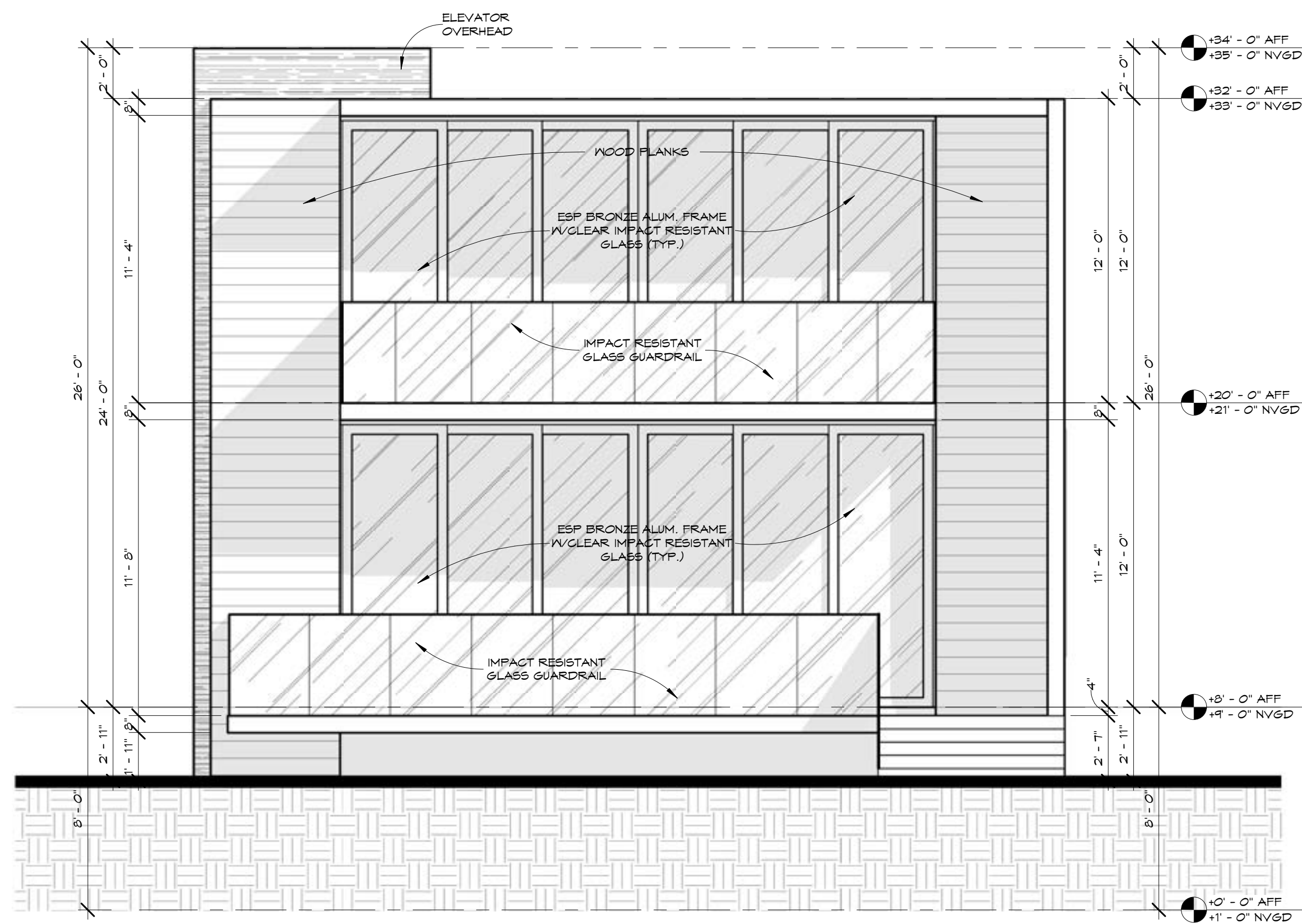
SHEET DATA:

DESIGNED BY: PHIL KEAN
DRAWN BY: MITCH BURDEN

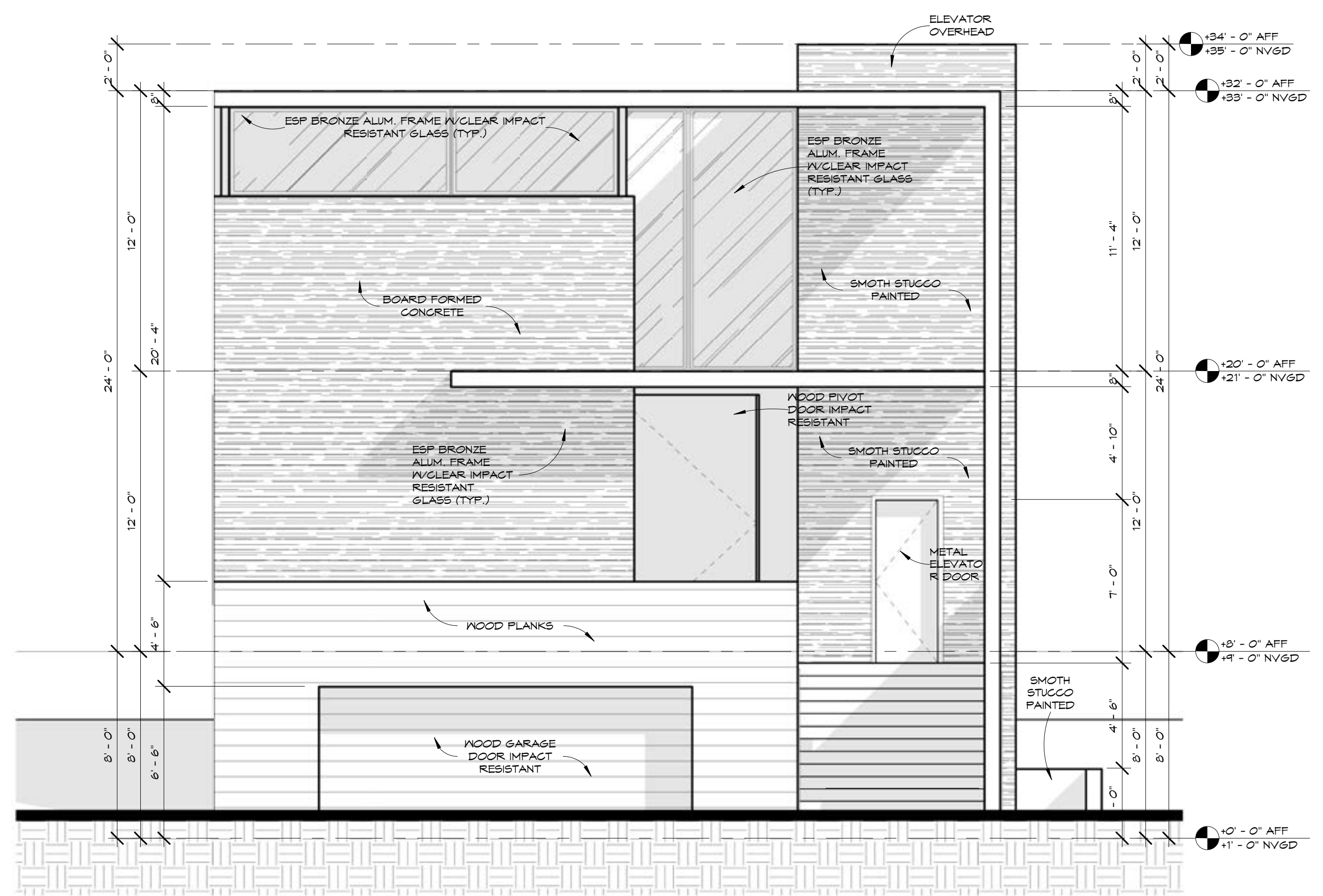
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UPPER LEVEL FLOOR PLAN

SHEET:



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED LOT SPLIT
294 SOUTH COCONUT LANE,
MIAMI BEACH, FL 33139

SEAL

ralph choeff
registered architect
AR0009679

comm no.
1350

date:
12/23/13

revised:

sheet no.
A-2.1b

choeff + levy p.a.
architecture interior design

8425 biscayne blvd, suite 201
miami, florida 33138

www.choefflevy.com
AR0009679 AR0094779

Phone: 305.434.8338
Fax: 305.892.5292



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

DESIGNER:

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ARCHITECTURE / CONSTRUCTION / INTERIORS

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PROJECT INFO:

294 S. COCONUT LANE
MIAMI BEACH, FL

PLAN HISTORY:

DATE	DESCRIPTION
2-17-13	PRELIM DESIGN

SHEET DATA:

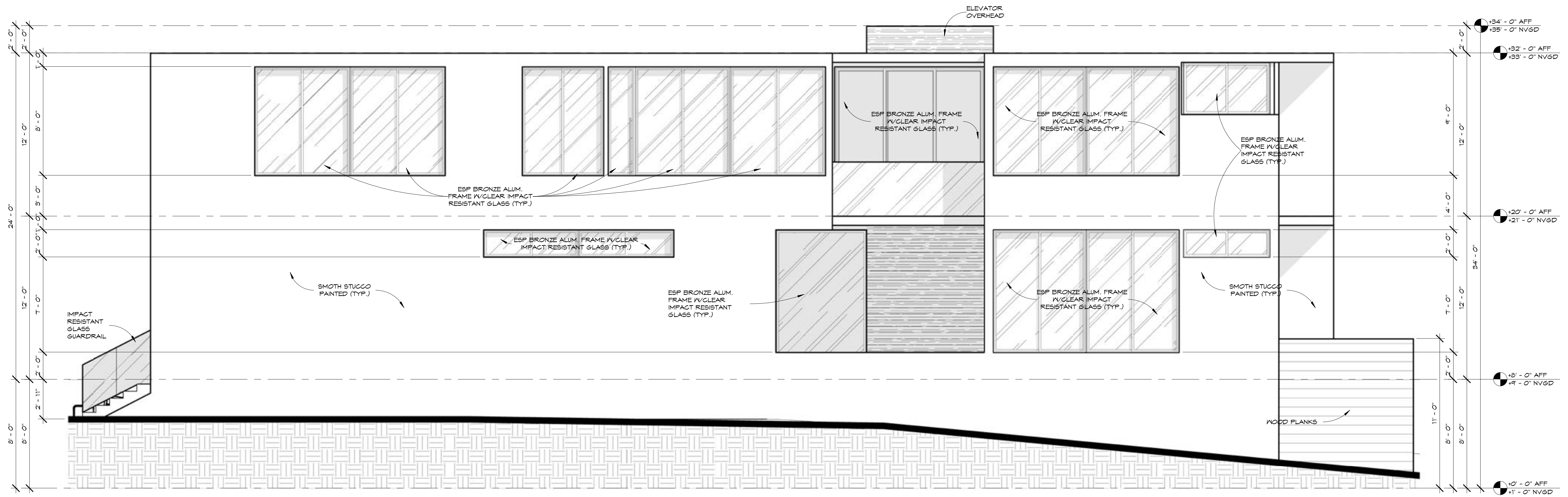
DESIGNED BY: PHIL KEAN
DRAWN BY: MITCH BURDEN

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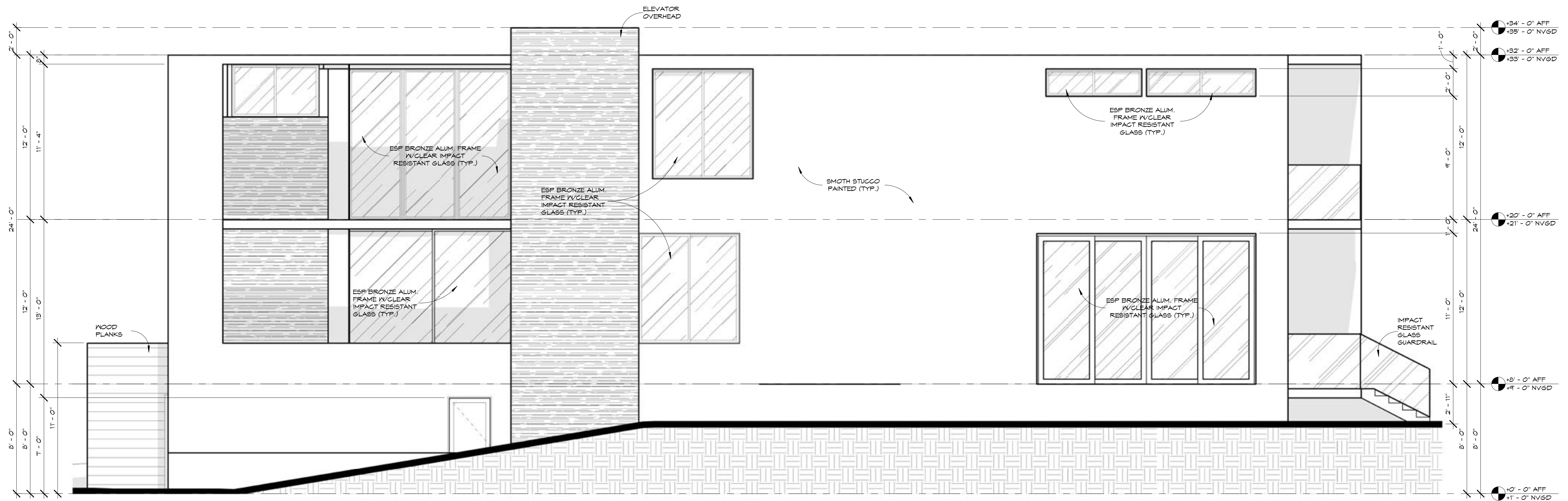
FRONT AND REAR
ELEVATIONS

SHEET:

3



EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED LOT SPLIT
294 SOUTH COCONUT LANE,
MIAMI BEACH, FL 33139

SEAL

ralph choeff
registered architect
AR0009679

comm no.
1350

date:
12/23/13

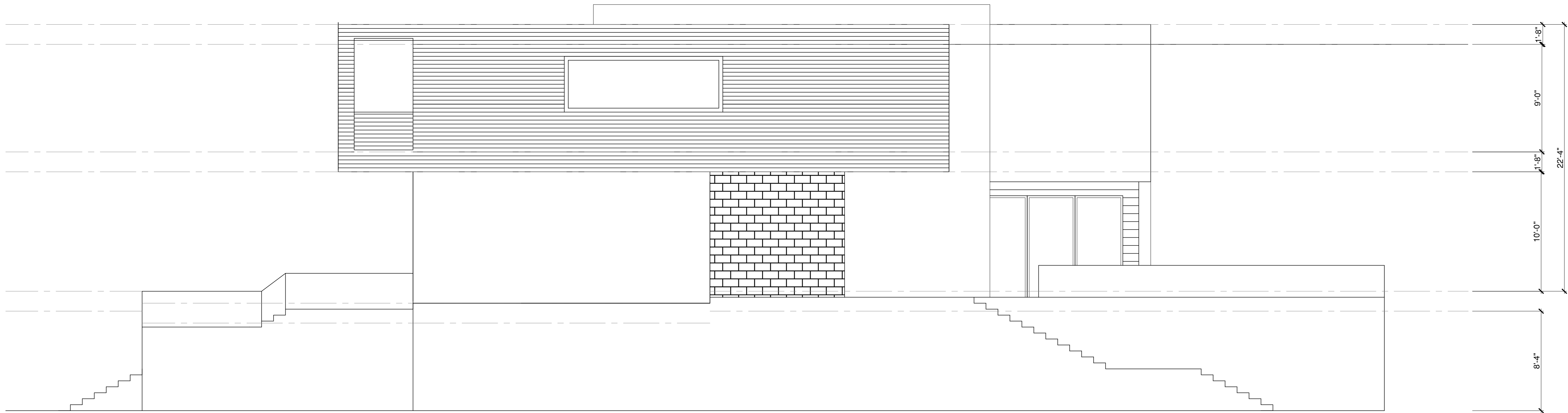
revised:

sheet no.
A-2.2b

choeff + levy p.a.
architecture interior design

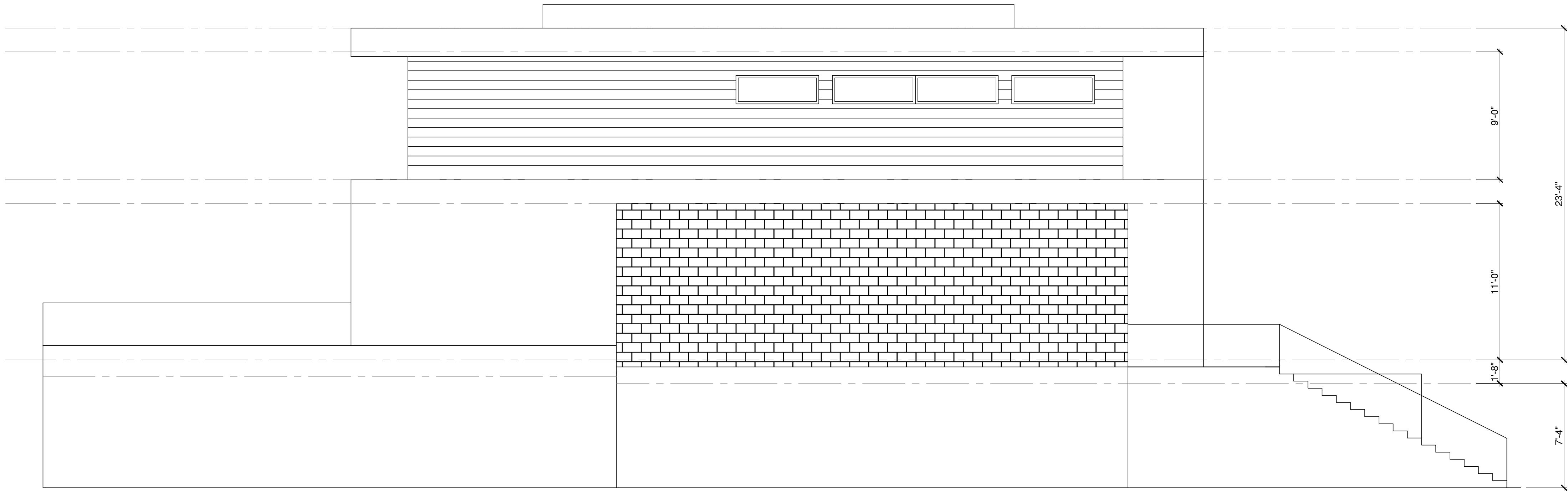
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miami, florida 33138
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AR0009679 AR0094779

Phone: 305.434.8338
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LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

DESIGNER:

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ARCHITECTURE / CONSTRUCTION / INTERIORS

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ENGINEER:

PROJECT INFO:

294 S. COCONUT LANE
MIAMI BEACH, FL

PLAN HISTORY:

DATE	DESCRIPTION
2-17-13	PRELIM DESIGN

SHEET DATA:

DESIGNED BY: PHIL KEAN
DRAWN BY: MITCH BURDEN

SHEET DESCRIPTION:

LEFT AND RIGHT
ELEVATIONS

SHEET:

4